



## ARLINGTON COUNTY, VIRGINIA

### County Board Agenda Item Meeting of February 25, 2006

**DATE:** February 17, 2006

**SUBJECT:** Adoption of proposed Amendments to Section 20 (Appendix A) “CP-FBC” Columbia Pike - Form Based Code Districts of the Zoning Ordinance to:

- A. Revise the Building Envelope Standards in Section IV. B., C., D. and E. of the Form Based Code by deleting the reference to “podiums” and making minor editorial changes to eliminate inconsistencies and provide greater clarity.
- B. Add language to Section I. - Components of the Code, of the Form Based Code to clarify how the Form Based Code is to be interpreted.

#### **C. M. RECOMMENDATION:**

- 1) Adopt the attached ordinance to amend reenact and recodify Section 20 (Appendix A), “CP-FBC” Columbia Pike – Form Based Code Districts, of the Arlington County Zoning Ordinance outlined above in Item A.
- 2) Take no action on Item B., regarding clarification of how the Form Based Code is to be interpreted.

**ISSUE:** None.

**SUMMARY:** Staff has continually worked with citizens to refine the Form Based Code (“FBC”) since its adoption in February 2003, to reflect the community’s vision for Columbia Pike. Staff has met with an informal discussion group in recent months to try to clarify certain provisions of the FBC that may be unclear. In consultation with the discussion group, staff recommends deleting the reference to “podiums” and making several minor editorial changes to the Building Envelope Standards in order to eliminate inconsistencies between the text and graphics and to correct typographical errors.

County Manager: \_\_\_\_\_

County Attorney: \_\_\_\_\_

Staff: Richard Tucker and Margaret Tulloch, DCPHD, Planning Division

PLA - 4240

In addition, based on concerns from the community, language has been advertised that would set parameters on how the FBC is to be interpreted. The proposed interpretation language, as written, is overly broad and may have a more deleterious effect on development review than intended. Staff recommends that the County Board take no action on this matter, since staff continues to work with community representatives to resolve questions of interpretation to ensure that the community's vision is adhered to more closely.

**BACKGROUND:** In March 2002, the Columbia Pike Initiative, A Revitalization Plan was adopted by the County Board. A major recommendation of this plan was to develop a new administrative review process to evaluate redevelopment proposals on Columbia Pike, which became the Columbia Pike FBC. In February 2003, the County adopted the FBC for the Town Center and Village Center development nodes. In February 2004, the FBC was adopted for the Neighborhood Center and Western Gateway. From time to time, staff has initiated amendments to the FBC in response to the community's concerns and input from advisory boards and commissions in order to clarify the intent of the FBC, while facilitating the redevelopment of Columbia Pike in accordance with the overarching vision for the revitalization of the corridor.

**DISCUSSION:** Staff has held weekly meetings with the informal discussion group to review and discuss inconsistencies in the FBC. There are several substantive issues that are under consideration by the discussion group which may come forward for County Board action in the near future. However, the discussion group has recommended minor editorial changes to the Building Envelope Standards of the FBC at this time. Staff has reviewed the proposed changes and agrees that the proposed modifications should be made to further clarify the intent of the FBC. Therefore, staff proposes the following changes to the FBC:

Deletion of the "Podium" Reference from Sections B., C., D., and E. of the Building Envelope Standards of the FBC (pages 27-30)

The FBC currently permits "podiums" (elevated platforms) and mezzanines within a story. In today's building designs, a podium is a much less common architectural element than a mezzanine. In that there is little likelihood that podiums will be constructed and the reference could be confusing or misused, the discussion group recommended that the reference be deleted from the Building Envelope Standards of the FBC. Staff agrees and recommends that the "podium" reference be deleted from the Building Envelope Standards of the FBC to clarify the intent.

Proposed Editorial Changes to the Building Envelope Standards of the FBC (pages 27 and 29):

- 1) On page 27, the Main Street Building Envelope Standards should be modified to eliminate the inconsistency between the special condition note in the height specifications diagram regarding the area between Wakefield Street and Four Mile Run and what is shown on page 24 of the FBC on the Neighborhood Center Regulating Plan for this vicinity. The note in the Building Envelope Standards diagram reads "Special Conditions: Within 100 FT of Main-Street RBL: - Wakefield to 4 Mile Run, MAX 4 STORIES." By contrast, the Regulating Plan shows no such limits. The special

condition note was added at the request of the community when the FBC was first being developed to address concerns over building heights in this area when it was envisioned that buildings here could reach up to six stories in height. Given such concerns, the maximum building height in this area was lowered to four stories. When this change was made, the special note on the diagram was not deleted, as it should have been. Staff now recommends that it be deleted to ensure consistency between the Building Envelope Standards and the Regulating Plans.

- 2) On page 27, the Main Street Building Envelope Standards, the height specifications diagram shows that the ground story floor elevation should be 18 inches maximum. This is in contrast to what the text says, which is that “The ground story floor elevation shall be between 6 inches below and 24 inches above the sidewalk elevation at the front of the building.” Staff suggests that the disparity between the diagram and the text be resolved by changing the diagram to reflect what is called for in the text.
- 3) On page 27, the Main Street Building Envelope Standards, there is a typographical error in the last sentence of the Use Specifications section. The sentence currently reads “Business and professional offices including medical, legal, insurance, philanthropic, real estate, banking, and other offices which in the judgment of the Zoning Administrator with a recommendation from the Administrative Review Team are of the same general character as those listed above may be located on all floors of the Main Street sites.” The word “max” was actually intended to be “may” and should be replaced with said word.
- 4) On page 29, the Local Building Envelope Standards, the third point under the Ground Story Height section discusses the height requirements for all stories. It currently reads “All stories shall have at least 9 feet 4 inches in clear height for at least 80 percent of their area.” This sentence should read “*The first story* shall have at least 9 feet 4 inches in clear height...” since specific height requirements for upper floors are detailed elsewhere on the page. Therefore, staff proposes that this sentence be modified.
- 5) On page 29, the Local Building Envelope Standards, there are two ranges for the ground story height mentioned in the text under Ground Story Height, one for general projects and one specifically for Live-Work sites, which is another development option for certain locations. The height specifications diagram, however, depicts only the general height requirement. The discussion group has identified this as a problem. Staff always intended the graphics throughout the FBC to represent general development requirements, not all potential scenarios. Therefore, instead of adding another diagram to this page and perhaps other diagrams to reflect other potential scenarios to the other Building Envelope Standards pages, staff has determined that clarity would be enhanced by adding a note at the top of this page to inform readers that the graphics and photographs used throughout the FBC are intended to provide general guidance and that readers should refer to the text for more specific guidance.
- 6) On page 29, the Local Building Envelope Standards, the height specifications diagram indicates that street walls must be between 6 to 10 feet high. By contrast, the text under

the heading of Street Wall and Fence Height indicates that “Any unbuilt RBL shall have a street wall built along it and any unbuilt common lot line shall have a privacy fence along it, 7 feet in height.” In this instance, the text is correct and the drawing simply needs to be modified to show that 7 feet is indeed the maximum allowable height for street walls.

Proposed Changes to Section I. of the FBC – Components of the Code (page 2)

To date, two FBC projects have been approved by the County Board. In addition, several redevelopment proposals are currently at some stage of preliminary staff review. In examining each of these proposals staff has had to interpret some elements of the FBC. In these instances, staff has relied on the intent of the FBC to make reasonable determinations as to how it applies to a development proposal. As a result, staff has provided either informal guidance to developers or, more formally, determinations and interpretations in cases where the intent of the Zoning Ordinance, including the FBC, is not clear. A concern has been voiced by the community that some guidance, determinations and/or interpretations may not be in keeping with the community’s vision. Therefore, new language has been proposed to limit staff interpretations. Generally, zoning codes are always subject to some level of interpretation.

Staff has determined that the proposed language could have a deleterious effect on implementing the community’s vision through FBC in that there are numerous examples of construction methods, building elements and standard development practices that are not specifically permitted by the FBC, but would otherwise be generally acceptable (such as the provision of underground parking). In lieu of adopting the suggested language, staff has met with an informal discussion group to identify specific issues related to interpretation of the FBC for discussion. This group was established for the very purpose of promoting greater communication between staff and the community on issues related to the FBC. As a result of these meetings, a process has been outlined to address each issue in turn. Staff has worked cooperatively with the discussion group to develop a series of FBC amendments and interpretations to address issues that required clarification. It is anticipated that through continued discussions with this group, remaining issues will be resolved in the coming months.

Community Process: The proposed editorial changes to the Form Based Code were discussed with a small discussion group and were reviewed informally by other residents of the Columbia Pike community. The proposed editorial changes and the interpretation language were reviewed by the Planning Commission at their February 6, 2006 meeting. Planning Commissioners voted unanimously to recommend County Board approval of the proposed editorial changes (Item A.) and voted 11-1 in favor recommending that the County Board take no action on the proposed interpretation language (Item B.)

**CONCLUSION:** Staff recommends that the County Board adopt the attached ordinance to amend reenact and recodify Section 20 (Appendix A), “CP-FBC’ Columbia Pike – Form Based Code Districts, of the Arlington County Zoning Ordinance to revise the Building Envelope Standards in Section IV. B., C., D. and E. of the Form Based Code by deleting the reference to “podiums” and making minor editorial changes to eliminate inconsistencies and provide greater

clarity. Staff further recommends that the County Board take no action on the proposed interpretation language.

\* \* \*

**ORDINANCE TO AMEND, REENACT, AND RECODIFY ZONING PROVISIONS OF THE ARLINGTON COUNTY ZONING ORDINANCE, SECTION 20 (APPENDIX A), “CP-FBC” COLUMBIA PIKE - FORM BASED CODE DISTRICTS, TO REVISE THE BUILDING ENVELOPE STANDARDS IN SECTION IV. B., C., D. AND E. OF THE FORM BASED CODE BY DELETING THE REFERNCE TO “PODIUMS” AND MAKING MINOR EDITORIAL CHANGES TO ELIMINATE INCONSISTENCIES AND PROVIDE GREATER CLARITY.**

BE IT ORDAINED, by the County Board of Arlington County, that Section 20 (Appendix A), “CP-FBC” Columbia Pike - Form Based Code Districts of the Zoning Ordinance is amended, reenacted, and re-codified as follows to preserve and promote mixed-use retail and other commercial activity within commercial districts; and for other reasons required by the public necessity, convenience and general welfare and good zoning practice; as well as to facilitate the creation of a convenient, attractive and harmonious community; to protect against destruction of or encroachment upon historic areas; and to encourage economic development activities that provide desirable employment and enlarge the tax base.

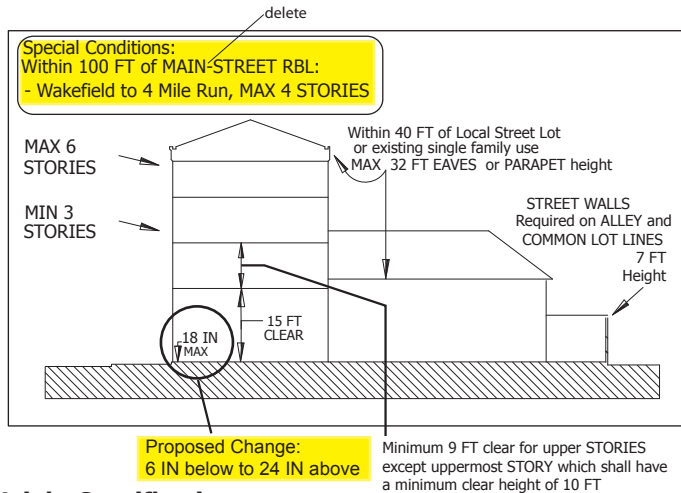
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Proposed Changes to the Form Based Code - Building Envelope Standards (pages 27-30 of the FBC)

(See Attachment I)

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**B. Building Envelope Standards: Main Street Sites**



**Height Specifications**

**Height Specifications**

Building Height

1. Principal building height is measured in STORIES. These parameters preserve appropriate STREET-space and allow for greater variety in building height.
2. Each building shall be between 3 and 6 STORIES in height, except where otherwise noted here or in the REGULATING PLAN.

Parking Structure Height

No parking structure within the BLOCK shall exceed the EAVE height of any building (built after 2002) within 40 feet of the parking structure.

GROUND STORY Height

1. The GROUND STORY floor elevation shall be between 6 inches below and 24 inches above the sidewalk elevation at the front of the building. The maximum floor-to-floor STORY HEIGHT limit for the GROUND FLOOR is 24 feet.
2. The GROUND FLOOR shall have at least a 15 foot clear (floor to ceiling) height for at least 1/3 of its area contiguous to RBL frontage.

Upper STORIES Height

1. The maximum floor-to-floor STORY HEIGHT limit for STORIES other than the GROUND STORY is 14 feet.
2. At least 80 percent of the upper STORIES shall each have at least a 9 foot clear (floor to ceiling) height and a minimum 10 feet clear height for the uppermost STORY.

Mezzanines and Podiums

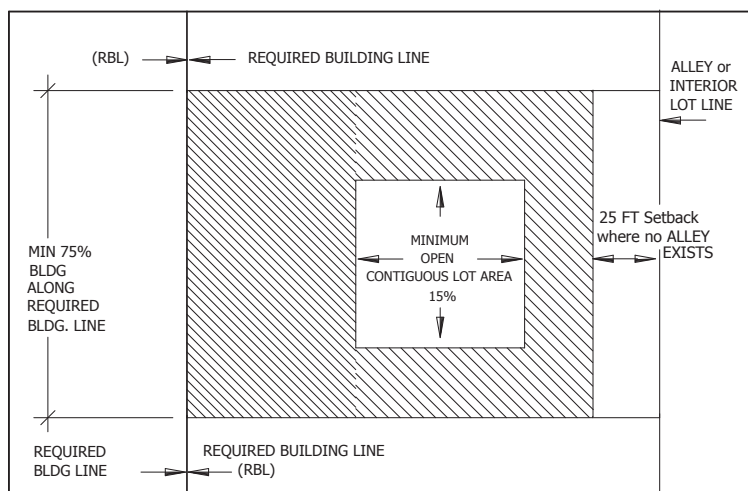
Mezzanines and podiums greater than 2/3 of the floor area footprint shall be counted as full STORIES.

STREET WALL Height

1. Any unbuilt ALLEY and/or COMMON LOT LINE frontage shall have a STREET WALL built along it, 7 feet in height.
2. STREET WALL heights are measured relative to the adjacent sidewalk or to the ground elevation when not fronting a sidewalk.

Other

Where a MAIN-STREET site is within 40 feet of a LOCAL site, NEIGHBORHOOD site or a single-family home, the maximum height for that portion is 32 feet to the EAVES OR PARAPET.



**Siting Specifications**

**Siting Specifications**

STREET Façade

1. The STREET façade shall be built to not less than 75 percent of the overall RBL. However, the GROUND FLOOR portions of the STREET façade within 7 feet of a BLOCK CORNER are exempt from this requirement in order to allow special corner treatments in these areas.
2. The STREET façade shall be composed as a simple plane (limited jogs less than 24 inches are considered a simple plane within this requirement) interrupted only by porches, STOOPS, BAY WINDOWS, shopfronts, and BALCONIES.

BUILDABLE AREA

Buildings shall occupy only the area of the LOT specified in the siting specifications of the BUILDING ENVELOPE STANDARDS AS BUILDABLE AREA. No part of any building excepting overhanging EAVES and BES permitted BALCONIES, BAY WINDOWS, STOOPS, and shopfronts shall encroach into the STREET beyond the RBL. No part of any building (excepting overhanging EAVES, BALCONIES, STOOPS, and small and unroofed garden structures) shall occupy the remaining LOT area. The minimum OPEN CONTIGUOUS LOT AREA shall comprise at least 15% of the total BUILDABLE AREA and can be located anywhere within the BUILDABLE AREA of the site.

Side LOT Line

There are no required side LOT line setbacks unless shared with an existing single family house where an 8-foot setback is required.

Garage and Parking Entrances

1. Garage/parking entrances shall be no closer than 50 feet from any BUILDING CORNER or 100 feet from any BLOCK CORNER (except where otherwise designated on the REGULATING PLAN).
2. Designated GARAGE ENTRIES and ALLEYS shall be the sole means of automobile access to a site.
3. Garage doors shall not face (be at an angle of less than 90 degrees from the RBL or right of way) the RBL. Vehicle parking areas (except where a STREET WALL exists or parking is enclosed within an ancillary building) on private property shall not be located within 25 feet of the RBL. These requirements are not applicable to on-STREET parallel parking.

ALLEYS

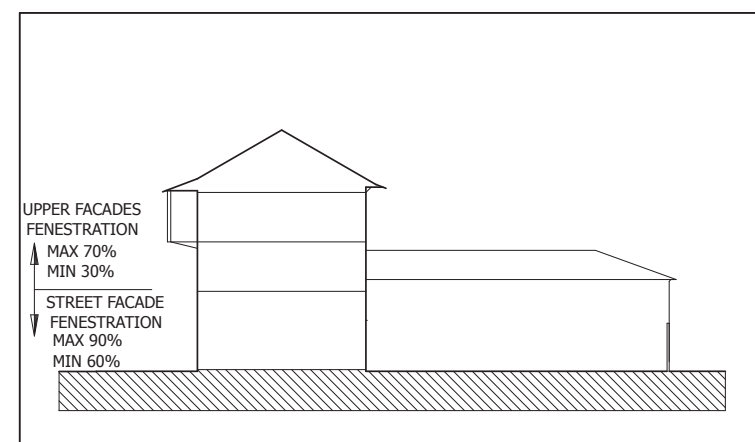
On sites with NO ALLEY access, there shall be a 25-foot setback from the rear LOT line.

Corner LOTS

Corner LOTS shall be treated as having STREET FRONTAGE on both the front and side STREETS (or RBLs).

Unbuilt RBL and COMMON LOT LINE Treatment

Any unbuilt RBL shall have a STREET WALL along it, between 6 feet and 10 feet in height. STREET WALLS may also be constructed along any unbuilt COMMON LOT LINE.



**Elements Specifications**

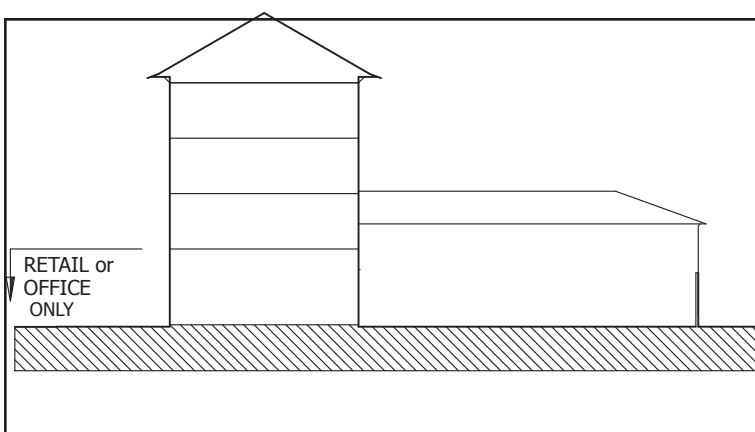
**Elements Specifications**

GROUND STORY-FENESTRATION

The GROUND STORY façade shall have between 60 percent and 90 percent FENESTRATION (measured as a percentage of the façade that is between 2 and 10 feet above the fronting sidewalk). AWNINGS and overhangs are encouraged (except where otherwise designated on the REGULATING PLAN).

Upper STORIES-FENESTRATION

Upper STORY facades shall have between 30 percent and 70 percent FENESTRATION (measured for each STORY as a percentage of the façade that is between 3 and 9 feet above the finished floor).



**Use Specifications**

**Use Specifications**

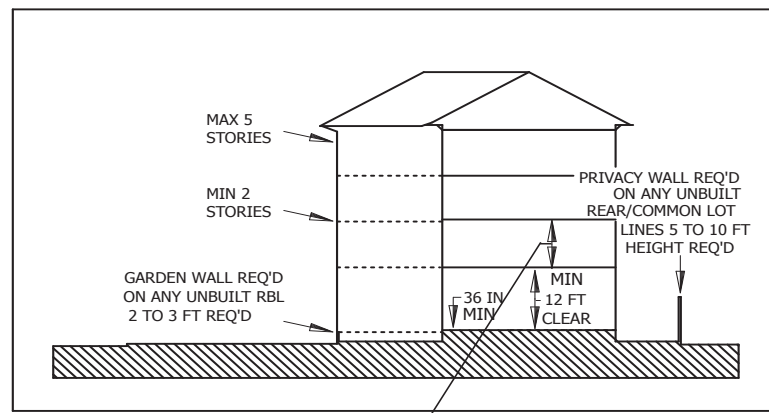
GROUND STORY

1. The GROUND STORY shall house retail uses as defined on page 17-18 as well as lobby and access for upper STORY uses.
2. There shall be functioning entry door(s) along the STREET façade at intervals not greater than 60 feet within any site.

Upper STORIES

Retail uses are not permitted on the upper STORIES (except those of less than 900 square feet and/or second STORIES as an extension of the GROUND STORY

use and with direct Columbia Pike frontage). Second STORY restaurants do not violate this rule. Business and professional offices including medical, legal, insurance, philanthropic, real estate, banking, and other offices which in the judgement of the Zoning Administrator with a recommendation from the ADMINISTRATIVE REVIEW TEAM are of the same general character as those listed above **max** may be located on all floors of MAIN STREET sites.



**Height Specifications**

Building Height

1. Principal building height is measured in STORIES.
2. Buildings shall be between 2 and 5 STORIES in height, except where otherwise noted here or in the REGULATING PLAN.

Parking Structure Height

No parking structure within the BLOCK shall exceed the EAVE height of any building (built after 2002) within 50 feet of the parking structure.

GROUND STORY Height

1. The GROUND STORY finished floor elevation of any residential unit shall be no less than 36 inches above the fronting sidewalk.
2. The maximum floor-to-floor STORY HEIGHT limit for the GROUND FLOOR STORY is 24 feet.
3. No less than 80 percent of the GROUND FLOOR STORY shall have at least 12 foot in clear height.

Upper STORY Height

1. The maximum floor-to-floor STORY HEIGHT limit for upper floors is 14 feet.
2. At least 80 percent of each upper STORY shall have at least 9 feet clear (floor to ceiling) height and a minimum 10 feet clear height for the uppermost STORY.

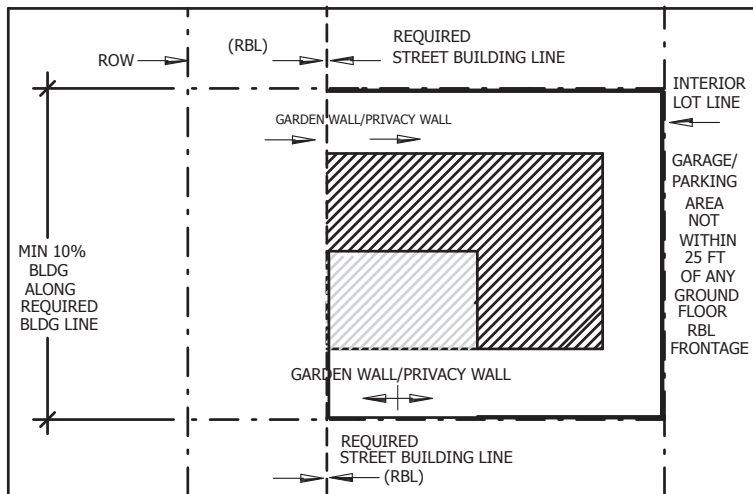
Mezzanines and Podiums

Mezzanines and podiums greater than 1/3 of the floor area footprint shall be counted as a full STORY.

Other

Where any part of an AVENUE site is within 40 feet of a LOCAL STREET (or lesser) site or an existing single family use dwelling, the maximum height for that portion is 32 feet to the EAVES OR PARAPET.

**Height Specifications** Minimum 9 FT clear for upper STORIES except uppermost STORY which shall have a minimum clear height of 10 FT



**Siting Specifications**

STREET Façade

1. The STREET façade shall be built-to the RBL not less than 10 percent of the overall RBL.
2. That portion of a façade that is required to be built to the RBL shall be composed as a simple plane (limited jogs less than 18 inches are considered a simple plane within this requirement) interrupted only by porches, STOOPS, BAY WINDOWS, shopfronts, and BALCONIES.

BUILDABLE AREA

Buildings shall occupy only the area of the LOT specified in the siting specifications of the BUILDING ENVELOPE STANDARD AS BUILDABLE AREA. The diagram above provides a sample building footprint. No part of any building excepting overhanging EAVES and BES permitted BALCONIES, BAY WINDOWS, STOOPS, and shopfronts shall encroach into the STREET beyond the RBL. No part of any building (excepting overhanging EAVES, BALCONIES, STOOPS, and small and unroofed garden structures) shall occupy the remaining LOT area. The minimum OPEN CONTIGUOUS LOT AREA shall comprise at least 30% of the total BUILDABLE AREA and can be located anywhere within the BUILDABLE AREA of the site.

Side Lot Line

There are no required side setbacks unless shared with an existing single family house where an 8-foot setback is required.

Garage and Parking Entrances

1. Any garage and/or parking areas for vehicles (autos, trailers, boats, etc.)—except where parking is located in an ancillary structure, enclosed in a rear-loading town-house garage, or in a below grade garage—on private property shall not be located within 25 feet from any RBL and shall be screened from the STREET by a STREET WALL.
2. Parking access shall be from an ALLEY where present. Designated GARAGE ENTRIES and ALLEYS shall be the sole means of automobile access to a site unless otherwise approved by the Zoning Administrator with a recommendation from the ADMINISTRATIVE REVIEW TEAM.
3. Garage doors shall not face (be at an angle of less than 90 degrees from the RBL or right of way) the RBL.
4. These requirements are not applicable to on-STREET parallel parking.

ALLEYS

On sites with NO ALLEY access, there shall be a 25-foot setback from the rear LOT line.

CORNER LOTS

Corner LOTS shall be treated as having STREET FRONTAGE on both the front and side STREETS (or RBLs).

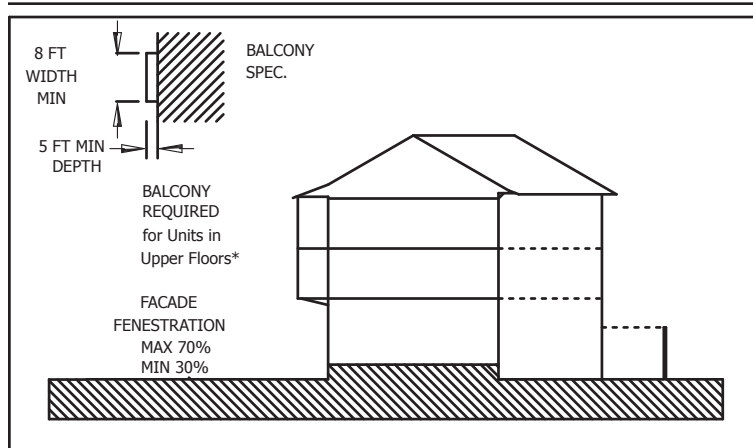
Unbuilt RBL, Rear, and/or COMMON LOT LINE Treatment

Any unbuilt RBL shall have a GARDEN WALL along it, between 2 feet and 3 feet in height. Any unbuilt rear OF COMMON LOT LINE that is located more than 15 feet behind the RBL may have a PRIVACY FENCE along it that is 7 feet in height.

Other

The BUILDING ENVELOPE STANDARDS for LOCAL sites may

**Siting Specifications**



be utilized on AVENUE sites.

**Elements Specifications**

FENESTRATION

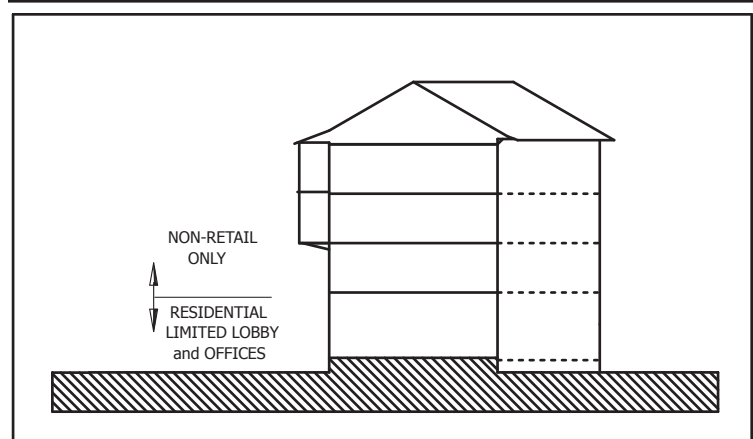
FENESTRATION shall be between 30 percent and 70 percent of all RBL building façades (when measured as a percentage of the area of each façade and STORY

between 3 and 9 feet above the finished floor). Blank lengths of wall along any RBL façade of more than 20 linear feet are prohibited.

BALCONIES

When provided, BALCONIES are required to be a

**Elements Specifications**



minimum of 5 feet deep and 8 feet wide (except where the RBL is within 8 feet of a right of way).

**Use Specifications**

GROUND STORY

A GROUND FLOOR may include residential uses and have small professional office, building lobby, or building manager's/maintenance offices (each less than 1,000 square feet). [Retail uses are permitted on a GROUND FLOOR where the underlying zoning is zoned commercial "C" or where properties are zoned "CP-FBC".]

Upper STORIES

Retail uses are not permitted on upper STORIES. However business and professional offices including medical, legal, insurance, philanthropic, real estate, banking and other offices which in the judgement of the Zoning Administrator with

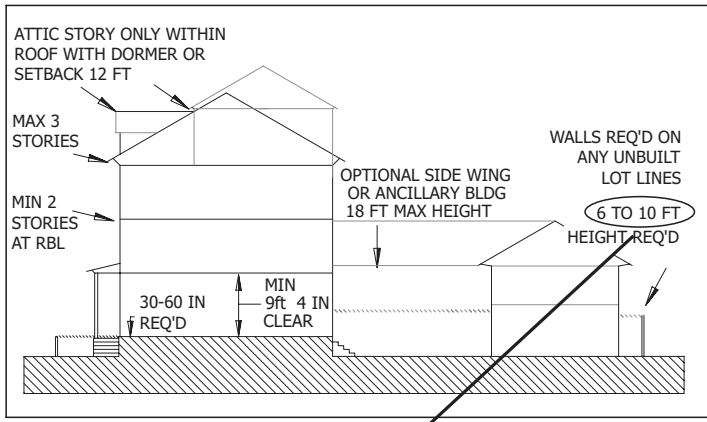
**Use Specifications**



# D. BUILDING ENVELOPE STANDARDS: LOCAL SITES

add text

Note that the following diagrams are intended to represent the general development requirements for the majority of LOCAL sites. For specific requirements for LIVE-WORK sites, please consult the text.



Proposed change: 7 feet clear.

## Height Specifications

## Height Specifications

### Building Height

- Principal building height is measured in STORIES.
- Each building shall be between 2 and 3 STORIES in height. Additionally, an attic STORY may be built.. An attic or half STORY is any top STORY which achieves its minimum clear height between 8 and 12 feet behind the RBL. An attic or half-STORY may have DORMER windows which face the street.

### GROUND STORY Height

- The first STORY finished elevation of any residential unit shall be between 36 and 60 inches above the fronting sidewalk. Where LIVE-WORK is indicated as permissible on the REGULATING PLAN, the GROUND FLOOR elevation of all LIVE-WORK development shall be between 0 inches and 18 inches above the fronting sidewalk and have at least 12 feet clear height for at least 1/3 of its area contiguous to RBL frontage.
- The maximum floor to floor STORY HEIGHT height limit for the GROUND FLOOR is 14 feet.
- ~~All STORIES~~ The first STORY shall have at least 9 feet 4 inches in clear height for at least 80 percent of their area.

### Upper STORIES Height

- All STORIES shall have at least 9 feet 4 inches in clear height for at least 80 percent of their area.
- The maximum floor to floor STORY HEIGHT limit for upper STORIES is 12 feet.

### Mezzanines and Podiums

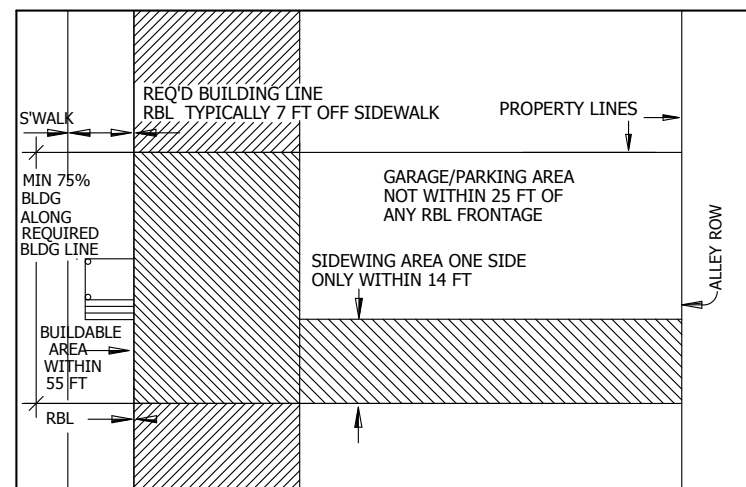
Mezzanines or podiums greater than 2/3<sup>rd</sup> of the floor area footprint shall be counted as a full STORY.

### STREET WALL and Fence Height

- Any unbuilt RBL shall have a STREET WALL built along it and any unbuilt COMMON LOT LINE shall have a PRIVACY FENCE along it, 7 feet in height.
- STREET WALL heights are measured relative to the adjacent sidewalk or ground elevation when not fronting a sidewalk.

### Other

Where a part of a LOCAL site is within 40 feet of a NEIGHBORHOOD site existing single family use dwelling, the maximum height for any structure on that portion of the site is 32 feet to the EAVES or PARAPET.



## Siting Specifications

### BUILDABLE AREA

Buildings shall occupy only the area of the LOT specified on the REGULATING PLAN as BUILDABLE AREA. No part of any building excepting overhanging EAVES, and BES permitted BALCONIES, BAY WINDOWS, STOOPS, and shopfronts shall encroach into the STREET beyond the RBL. No part of any building (excepting overhanging EAVES, BALCONIES, STOOPS, and small and unroofed garden structures) shall occupy the remaining LOT area. The minimum OPEN CONTIGUOUS LOT AREA shall comprise at least 15% of the total BUILDABLE AREA and can be located anywhere within the BUILDABLE AREA of the site.

### Side LOT Line

There are no required side setbacks unless shared with an existing single family house where an 8 foot setback is required.

unless otherwise approved by the ADMINISTRATIVE REVIEW TEAM.

- Garage doors shall not face (be at an angle of less than 90 degrees from the RBL or right of way) the RBL.
- These requirements are not applicable to on-STREET parallel parking.

### ALLEYS

On sites with no ALLEY access, there shall be a 12 foot setback from the rear LOT line.

### CORNER LOTS

Corner LOTS shall be treated as having STREET FRONTAGE on both the front and side-STREETS (or RBLs).

## Siting Specifications

### STREET Façade

- The STREET façade shall be built to not less than 75 percent of the overall RBL. However, at the GROUND FLOOR, portions of the STREET façade within 7 feet of a BLOCK CORNER are exempt from this requirement in order to allow special corner treatments in these areas.
- That portion of a façade that is required to be built to the RBL shall be composed as a simple plane (limited jogs less than 24 inches are considered a simple plane within this requirement) interrupted only by porches, STOOPS, BAY WINDOWS, shopfronts, and BALCONIES.

### Garage and Parking Entrances

- Any garage and/or vehicle (autos, trailers, boats, etc.) parking areas – except where parking is located in an ancillary structure, enclosed in a rear-loading town-house garage, or in a below grade garage — on private property shall not be located within 25 feet of the RBL (except for basement garages) and screened from the STREET by a STREET WALL.
- Parking access shall be from an ALLEY where present. Designated GARAGE ENTRIES and ALLEYS shall be the sole means of automobile access to a site,

## Elements Specifications

### STOOPS

Each LOT/UNIT shall include a STOOP of not more than 5 feet deep and 6 feet wide (plus steps) which is required to be built forward of the (RBL) or a front porch, between 8 feet and 10 feet deep with a width not less than 50 percent of the RBL shall be added - with the building façade placed an additional 2 feet back from the STREET/RBL.

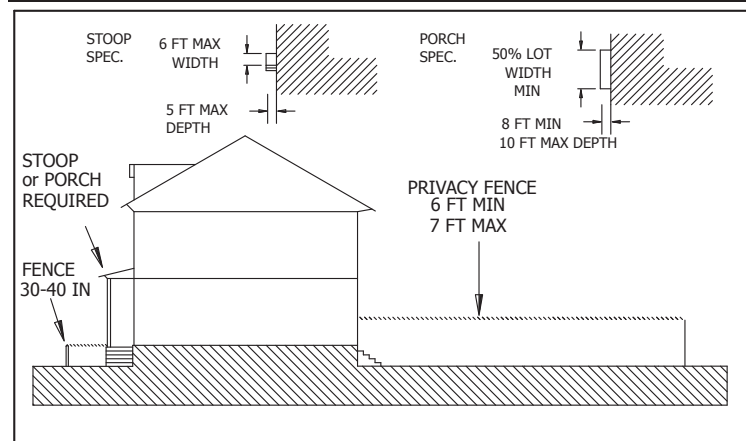
### Fences/GARDEN WALLS

A fence or GARDEN WALL, 30 to 40 inches in height, is permitted along the STREET FRONTAGE and along the COMMON LOT LINES of the front yard. Opaque ornamental fencing (not including chain link or any

other roll type fencing), between 6 and 7 feet in height, may be placed along any unbuilt rear and COMMON LOT LINES.

### FENESTRATION

FENESTRATION shall be between 30 percent and 70 percent of all RBL building facades (when measured as a percentage of the area of each façade and STORY between 3 and 8 feet above the finished floor). Blank lengths of wall along any RBL façade of more than 15 linear feet are prohibited.



## Elements Specifications

## Use Specifications

### GROUND FLOOR

A GROUND FLOOR may have residential and home office uses. Where a site is designated LIVE-WORK, the GROUND FLOOR may additionally have small professional office, building lobby, building manager's office, ancillary retail grocery, and café uses (each less than 1,200 sf).

### Upper STORIES

Upper STORIES shall be exclusively for residential and home occupations, as defined by the County. Where a site is designated LIVE-WORK on the REGULATING PLAN, the second STORY may also include small professional office uses.

### Accessory Units

- One English basement unit or one ACCESSORY UNIT is permitted. Conversion of primary structure single-family units for multiple family uses is prohibited.

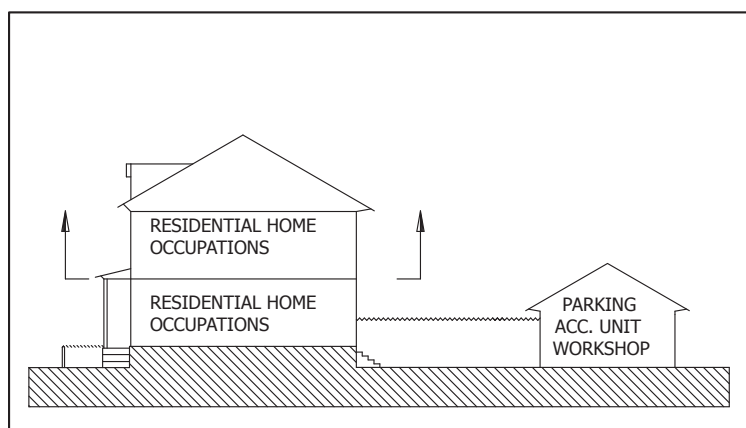
- Parking and accessory unit (maximum 650 sf) uses are permitted in the building area at the rear of the LOT.

### Garage/Parking

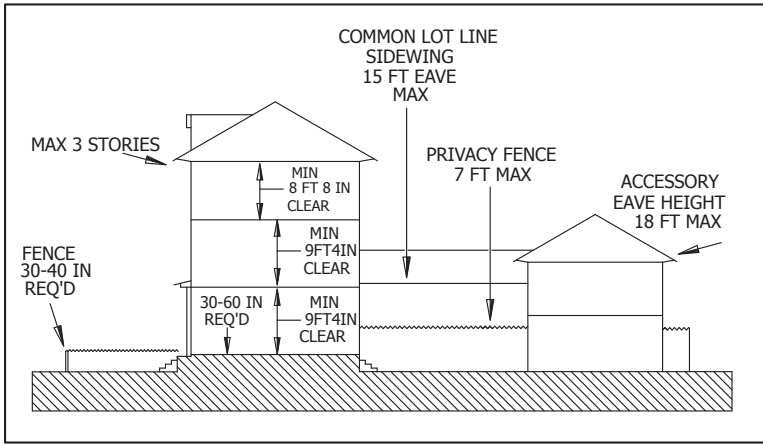
The garage/parking for vehicles (autos, trailers, boats, etc.) shall be located at least 25 feet away from any RBL (excepting basement garages).

### The following requirements apply only to LIVE-WORK Designated Sites

- There is no front porch requirement.
- There is no front yard fence requirement.
- The GROUND STORY finished floor elevation shall be between 0 and 18 inches above the adjacent sidewalk elevation and the GROUND STORY shall have a clear height of between 12 and 19 feet.



## Use Specifications



Height Specifications

**Height Specifications**

Building Height

1. Principal building height is measured in STORIES.
2. The building shall be no more than 3 STORIES in height.
3. No accessory building shall be more than 18 feet to its EAVES.

GROUND FLOOR and Second STORY Height

1. The GROUND FLOOR finished elevation shall be between 30 and 60 inches above the average RBL elevation.
2. The maximum floor-to-floor STORY HEIGHT for the GROUND FLOOR STORY is 14 feet.

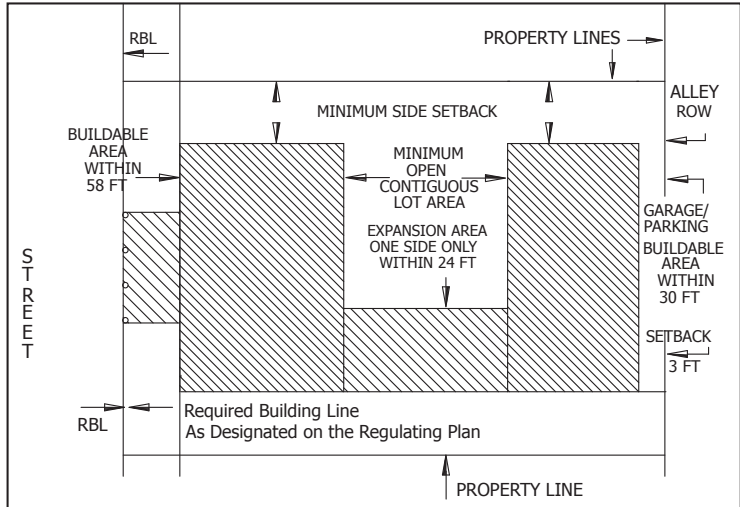
3. The GROUND FLOOR STORY and second STORIES shall have at least a 9 feet 4 inches in clear height for at least 80 percent of the area of the particular STORY.

Upper STORIES Height

1. The maximum floor-to-floor STORY HEIGHT height for upper STORIES is 10 feet.
2. Each STORY above the second STORY shall have at least 8 feet 8 inches in clear height for at least 80 percent of its area.

Mezzanines and Podiums

Mezzanines or podiums greater than 2/3 of the floor area footprint shall be counted as full STORIES.



Siting Specifications

**Siting Specifications**

STREET Facade

1. The STREET facade shall be built-to the RBL not less than 33 percent of the overall RBL.
2. That portion of a facade that is required to be built to the RBL shall be composed as a simple plane (limited jogs less than 18 inches are considered a simple plane within this requirement) interrupted only by porches, STOOPS, BAY WINDOWS, shopfronts, and BALCONIES.

BUILDABLE AREA

Buildings shall occupy only the area of the LOT specified on the REGULATING PLAN as BUILDABLE AREA. No part of any building excepting overhanging EAVES and BES permitted BALCONIES, BAY WINDOWS, and STOOPS shall encroach into the STREET beyond the RBL. No part of any building (excepting overhanging EAVES, BALCONIES, STOOPS, and small and unroofed garden structures) shall occupy the remaining LOT area. The minimum OPEN CONTIGUOUS LOT AREA shall comprise at least 30% of the total BUILDABLE AREA and can be located anywhere within the BUILDABLE AREA of the site.

Garage and Parking Entrances

1. Designated GARAGE ENTRIES shall be the sole means of automobile access to a site, unless otherwise approved by the County.
2. Garage doors shall not face (be at an angle of less than 90 degrees from the RBL or street) RBL. Vehicle parking areas (except where a STREET WALL exists or parking is enclosed within an ancillary building) on private property shall not be located within 25 feet of the RBL. These prohibitions are not applicable to on-STREET parallel parking.

3. Any garage or parking for vehicles (autos, trailers, boats, etc.) shall be kept within the area designated on the SITING SPECIFICATIONS diagram for NEIGHBORHOOD sites. Garage or parking areas shall be set at least 25 feet behind the RBL.

ALLEYS

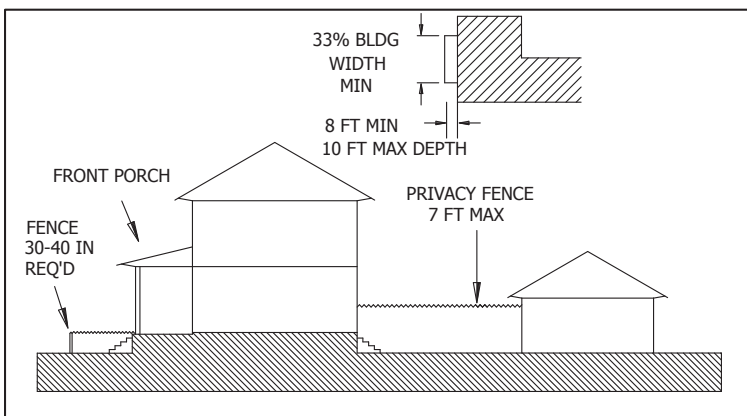
Where there is NO ALLEY at the rear LOT line, there shall be a 12-foot setback.

CORNER LOTS

Corner LOTS shall be treated as having STREET FRONTAGE on both the front and side STREETS (or RBLs).

Side LOT line

The minimum side setback is 5 feet.



Elements Specifications

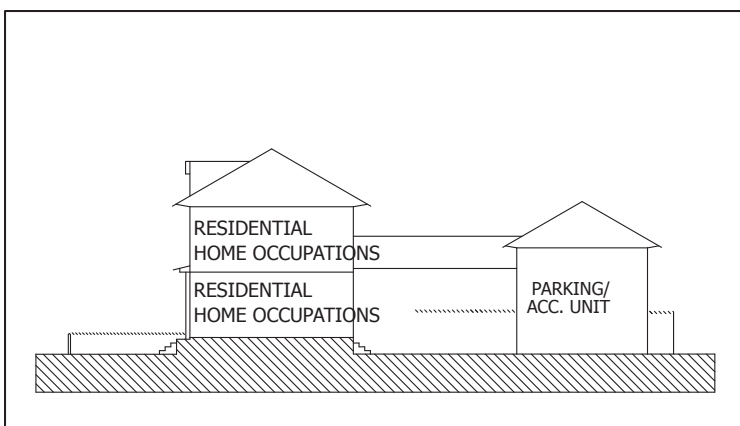
**Elements Specifications**

Fences

1. An ornamental front yard fence (not to be chain link or any other type of rolled fencing), 30 to 40 inches in height, is required along the STREET frontage and COMMON LOT LINES to at least 10 feet beyond the REQUIRED BUILDING LINE (RBL).
2. A PRIVACY FENCE 7 feet in height, may run the remainder of the rear and COMMON LOT LINES (except within the front yard area which shall have a fence as designated above).

Front Porch

A front porch, between 8 feet and 10 feet deep with a width equal to no less than 33 percent of the total building width, is required along and in front of the RBL. For designated LOTS (see the REGULATING PLAN) the front porch is optional.



Use Specifications

**Use Specifications**

1. Within the primary building permitted uses include: Home occupations as defined in the Zoning Ordinance (by-right with these exceptions: maximum 2 nonresident employees within the primary structure and/or maximum 1 nonresident employee within 1 accessory structure, for each LOT.).
2. One English basement unit or one ACCESSORY UNIT is permitted. Conversion of primary structure single-family units for multiple family uses is prohibited.
3. Parking and ACCESSORY UNIT (maximum 650 square feet) uses are permitted in the building area at the rear of the LOT.