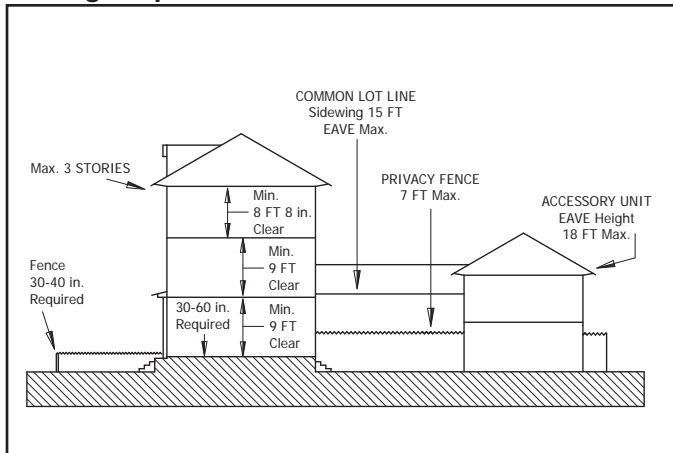


E. BUILDING ENVELOPE STANDARDS: NEIGHBORHOOD SITES

1. Height Specifications



Building Height

1. Principal building height is measured in STORIES.
2. The building shall be no more than 3 STORIES in height.
3. No accessory building shall be more than 18 feet to its EAVES.

GROUND FLOOR and Second STORY Height

1. The GROUND FLOOR finished elevation shall be between 30 and 69 inches above the average RBL elevation. ^{11F}
2. The maximum floor-to-floor STORY HEIGHT limit for the GROUND FLOOR STORY is 14 feet.
3. The GROUND FLOOR STORY and second STORIES shall have at least an 8 foot 10 inch clear height for at least 80 percent of the area of the particular STORY. ^{11F, 18B}

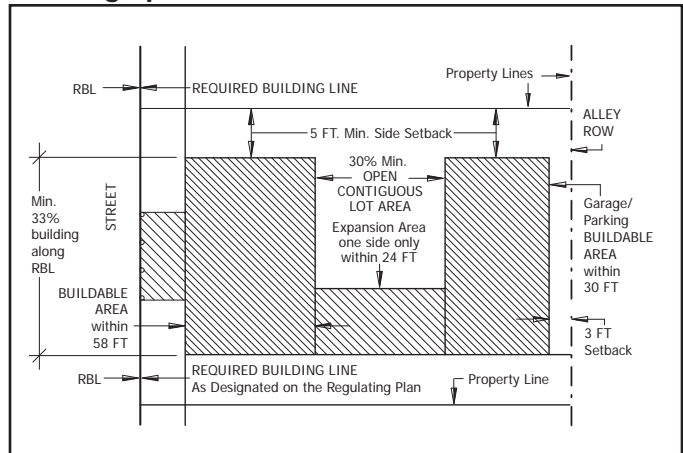
Upper STORIES Height

1. The maximum floor-to-floor STORY HEIGHT for upper STORIES is 10 feet.
2. Each STORY above the second STORY shall have at least 8 feet 8 inches in clear height for at least 80 percent of its area.

Mezzanines

Mezzanines greater than 2/3 of the floor area footprint shall be counted as full STORIES.

2. Siting Specifications



STREET Facade

1. The STREET facade shall be built to the RBL not less than 33 percent of the overall RBL.
2. That portion of a facade that is required to be built to the RBL shall be composed as a simple plane (limited jogs less than 18 inches are considered a simple plane within this requirement) interrupted only by PORCHES, STOOPS, BAY WINDOWS, shop fronts and BALCONIES. ^{11F}

BUILDABLE AREA

Buildings shall occupy only the area of the LOT specified on the REGULATING PLAN as BUILDABLE AREA. No part of any building excepting overhanging EAVES and BES permitted BALCONIES, BAY WINDOWS, and STOOPS, shall encroach into the STREET beyond the RBL. No part of any building (excepting overhanging EAVES, BALCONIES, STOOPS, and small and unroofed garden structures) shall occupy the remaining LOT area. The minimum OPEN CONTIGUOUS LOT AREA shall comprise at least 30 percent of the total BUILDABLE AREA and can be located anywhere within the BUILDABLE AREA of the site.

Side LOT Line

The minimum side setback is 5 feet.

Garage and Parking Entrances

1. Designated GARAGE ENTRIES shall be the sole means of automobile access to a site, unless otherwise approved by the County.
2. Garage doors shall not face (be at an angle of less than 90 degrees from the RBL or street) the RBL. Vehicle parking areas (except where a STREET WALL exists or parking is enclosed within an ancillary building) on private property shall not be located within 25 feet of the RBL. These prohibitions are not applicable to on-STREET parallel parking.
3. Any garage or parking for vehicles (autos, trailers, boats, etc.) shall be kept within the area designated on the SITING SPECIFICATIONS diagram. Garage doors shall not face (be at an angle of less than 90 degrees from the RBL or right of way) the RBL.

ALLEYS

Where there is no ALLEY at the rear LOT line, there shall be a 12-foot setback.

Corner LOTS

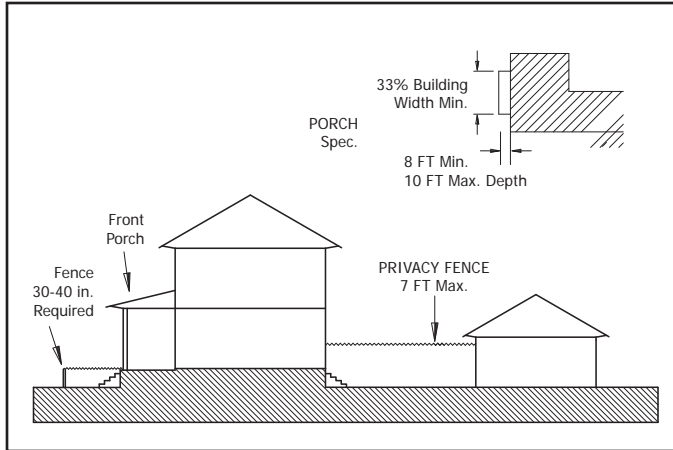
Corner LOTS shall be treated as having STREET FRONTAGE on both the front and side STREETS (or RBLs).

11F - Columbia Pike Form Based Code Amendment adopted on May 25, 2010

18B - Columbia Pike Form Based Code Amendment adopted on November 15, 2014

E. BUILDING ENVELOPE STANDARDS: NEIGHBORHOOD SITES

3. Elements Specifications



Fences

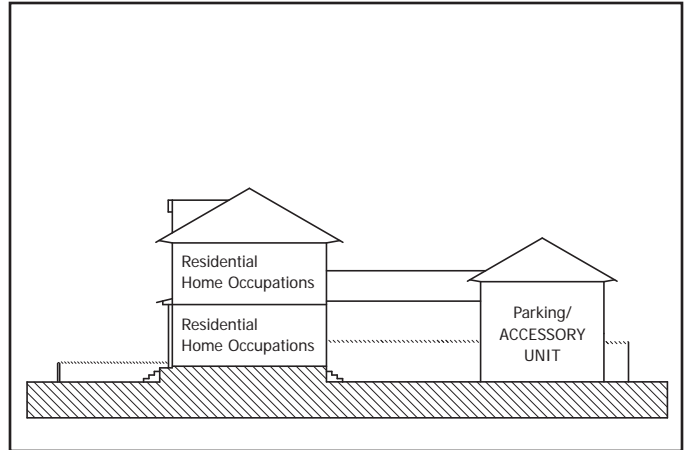
1. An ornamental front yard fence (not to be chain link or any other type of rolled fencing), 30 to 40 inches in height, is required along the STREET frontage and COMMON LOT LINES to at least 10 feet beyond the REQUIRED BUILDING LINE (RBL).

2. A PRIVACY FENCE 7 feet in height, may run the remainder of the rear and COMMON LOT LINES (except within the front yard area which shall have a fence as designated above).

Front Porch

A front porch, between 8 feet and 10 feet deep with a width equal to no less than 33 percent of the total building width, is required along and in front of the RBL. For designated LOTS (see the REGULATING PLAN) the front porch is optional.

4. Use Specifications



1. Within the primary building, permitted uses include: Home occupations as defined in the Zoning Ordinance (by-right with these exceptions: maximum 2 nonresident employees within the primary structure and/or maximum 1 nonresident employee within 1 accessory structure, for each LOT).

2. Either ENGLISH BASEMENT unit or one ACCESSORY UNIT is permitted. Conversion of primary structure single-family units for multiple family uses is prohibited. ^{11F}

3. Parking and ACCESSORY UNIT (maximum 650 square feet) uses are permitted in the building area at the rear of the LOT.