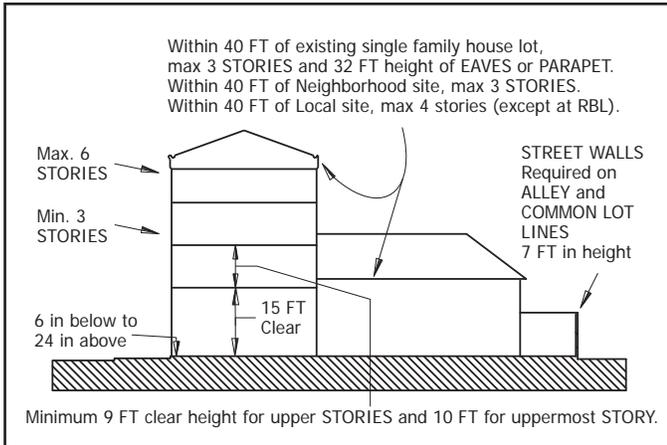


## B. BUILDING ENVELOPE STANDARDS: MAIN STREET SITES

### 1. Height Specifications



#### **Building Height**

1. Principal building height is measured in STORIES. These parameters preserve appropriate STREET-space and allow for greater variety in building height.

2. Each building shall be between 3 and 6 STORIES in height, except where otherwise noted here or in the REGULATING PLAN.

#### **Parking Structure Height**

No parking structure within the BLOCK shall exceed the EAVE height of any building (built after 2002) within 40 feet of the parking structure.

#### **GROUND STORY Height**

1. The GROUND STORY floor elevation shall be between 6 inches below and 24 inches above the sidewalk elevation at the front of the building. The maximum floor-to-floor STORY HEIGHT limit for the GROUND FLOOR is 24 feet.

2. The GROUND FLOOR shall have at least a 15 foot clear (floor to ceiling) height for at least 1/3 of its area contiguous to RBL frontage.

#### **Upper STORIES Height**

1. The maximum floor-to-floor STORY HEIGHT limit for STORIES other than the GROUND STORY is 14 feet.

2. At least 80 percent of the upper STORIES shall each have at least an 8 foot 10 inch clear (floor to ceiling) height and a minimum 10 foot clear height for the uppermost STORY.<sup>18B</sup>

#### **Mezzanines**

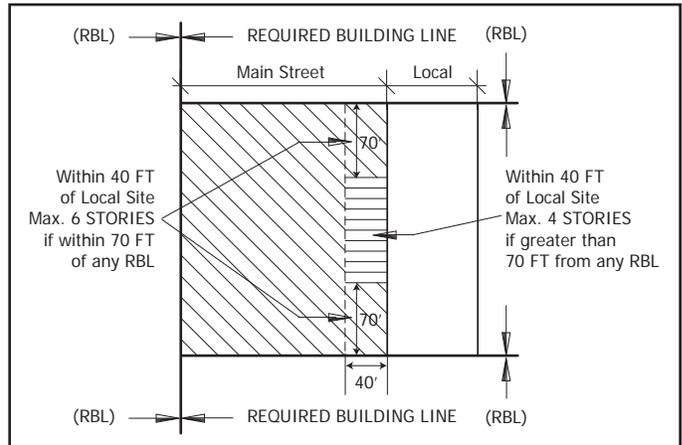
Mezzanines greater than 2/3 of the floor area footprint shall be counted as full STORIES.

#### **STREET WALL Height**

1. Any unbuilt ALLEY and/or COMMON LOT LINE frontage shall have a STREET WALL built along it, 7 feet in height.

2. STREET WALL heights are measured relative to the adjacent sidewalk or to the ground elevation when not fronting on a sidewalk.

### 1. Height Specifications (continued)<sup>12A</sup>



#### **Other<sup>12A</sup>**

Notwithstanding the provisions in Section III.A.6.1, except where a lower height is required by the Regulating Plan, where any portion of a Main street site is within 40 feet of:

1. A Local or LIVE-WORK site (excluding LIVE-WORK\* sites), the maximum height for that portion is no more than 4 STORIES, unless that portion is also no more than 70 feet from an RBL, in which case the maximum height is no more than 6 STORIES.

2. A Neighborhood site, the maximum height for that portion is no more than 3 STORIES.

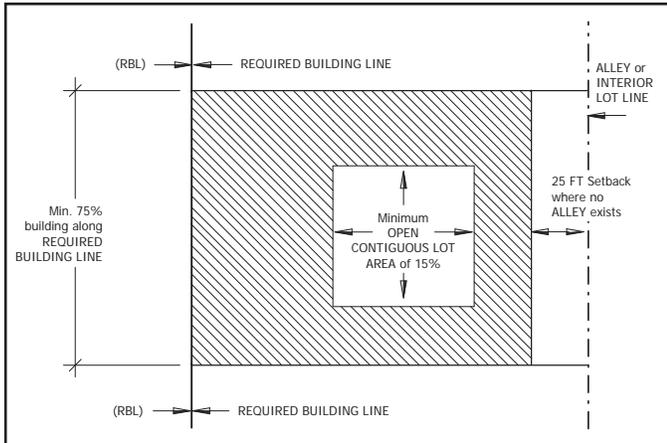
3. An existing single-family lot, the maximum height for that portion is 32 feet to the EAVES or PARAPET, and no more than 3 STORIES.

12A - Columbia Pike Form Based Code Amendment adopted on April 16, 2011

18B - Columbia Pike Form Based Code Amendment adopted on November 15, 2014

## B. BUILDING ENVELOPE STANDARDS: MAIN STREET SITES

### 2. Siting Specifications



#### **STREET Facade**

1. The STREET facade shall be built to not less than 75 percent of the overall RBL. However, the GROUND FLOOR portions of the STREET facade within 7 feet of a BLOCK CORNER are exempt from this requirement in order to allow special corner treatments in these areas.
2. The STREET facade shall be composed as a simple plane (limited jogs less than 24 inches are considered a simple plane within this requirement) interrupted only by PORCHES, STOOPS, BAY WINDOWS, shop fronts and BALCONIES.<sup>11C</sup>

#### **BUILDABLE AREA**

Buildings shall occupy only the area of the LOT specified in the siting specifications of the BUILDING ENVELOPE STANDARDS as BUILDABLE AREA. No part of any building excepting overhanging EAVES and BES permitted BALCONIES, BAY WINDOWS, STOOPS, and shop fronts shall encroach into the STREET beyond the RBL. No part of any building (excepting overhanging EAVES, BALCONIES, STOOPS, and small and unroofed garden structures) shall occupy the remaining LOT area. The minimum OPEN CONTIGUOUS LOT AREA shall comprise at least 15% of the total BUILDABLE AREA of the site.

#### **Side Lot Line**

There are no required side LOT line setbacks unless shared with an existing single family house where an 8-foot setback is required.

#### **Garage and Parking Entrances**

1. Garage/parking entrances shall be no closer than 50 feet from any BUILDING CORNER or 100 feet from any BLOCK CORNER (except where otherwise designated on the REGULATING PLAN).
2. Designated GARAGE ENTRIES and ALLIES shall be the sole means of automobile access to a site.
3. Garage doors shall not face (be at an angle of less than 90 degrees from the RBL or right of way) the RBL. Vehicle parking areas (except where a STREET WALL exists or parking is enclosed within an ancillary building) on private property shall not be located within 25 feet of the RBL. These requirements are not applicable to on-STREET parallel parking.

#### **ALLEYS**

On sites with no ALLEY access, there shall be a 25-foot setback from the rear LOT line.

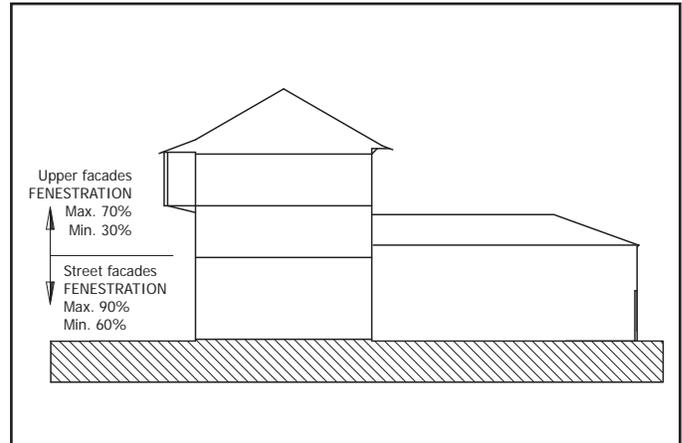
#### **Corner Lots**

Corner LOTS shall be treated as having STREET FRONTAGE on both the front and side STREETS (or RBLs).

#### **Unbuilt RBL and COMMON LOT LINE Treatment**

Any unbuilt RBL shall have a STREET WALL along it, between 6 feet and 10 feet in height. STREET WALLS may also be constructed along any unbuilt COMMON LOT LINE.

### 3. Elements Specifications



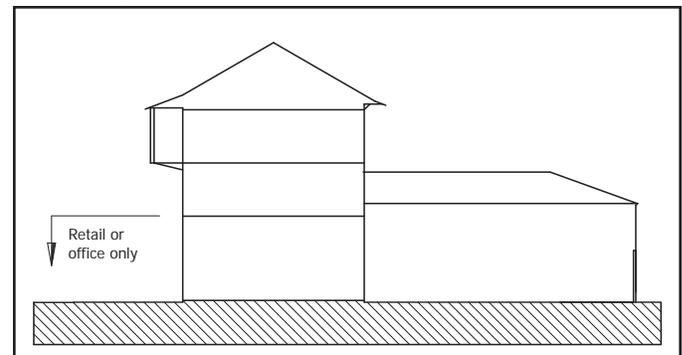
#### **GROUND STORY-FENESTRATION**

The GROUND STORY facade shall have between 60 percent and 90 percent FENESTRATION (measured as a percentage of the facade that is between 2 and 10 feet above the fronting sidewalk). AWNINGS and overhangs are encouraged (except where otherwise designated on the REGULATING PLAN).

#### **Upper STORIES-FENESTRATION**

Upper STORY facades shall have between 30 percent and 70 percent FENESTRATION (measured for each STORY as a percentage of the facade that is between 3 and 9 feet above the finished floor).

### 4. Use Specifications



#### **GROUND STORY**

1. The GROUND STORY shall house uses as provided in Table 3.1 as well as lobby and access for upper STORY uses.
2. There shall be functioning entry door(s) along the STREET facade at intervals not greater than 60 feet within any site. Provided, however, the County Board may modify the interval between functioning entry doors for civic uses identified in Table 3.1, subject to approval of a use permit as provided in ACZO 15.4, where it finds that the proposed modifications can be retrofitted to meet standard requirements when the subject use is discontinued and are otherwise consistent with the intent of the Form Based Code.<sup>20C</sup>

#### **Upper STORIES**

Uses identified in Table 3.1 are not permitted on the upper STORIES, except those of less than 900 square feet, restaurants of any size, and second STORIES as continuation of the GROUND STORY use that have direct Columbia Pike frontage. Otherwise, UPPER STORIES shall house residential, office, or hotel uses, or some combination thereof.<sup>20C</sup>

11C - Columbia Pike Form Based Code Amendment adopted on May 25, 2010

20C - Columbia Pike Form Based Code Amendment adopted on December 12, 2015